

**EXHIBIT D****DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS****WESTFIELD****DESIGN GUIDELINES****Part One: Landscaping, Fences and Exterior Elements****SECTION 1.1 Landscaping:**

Upon completion of each dwelling unit the following landscape elements shall be installed prior to occupancy of the dwelling:

**1.1.1 Sod:** Each dwelling shall have full sod installed for the entire front yard and a minimum of ten (10) feet back from the front wall face for each side yard, or to the side yard fence, whichever is greater. An in-ground irrigation shall be provided for all sod areas visible from the street

**1.1.2 Trees:** Two (2) trees with a minimum caliper of 3", measured at a point six (6) inches above the root ball, are required in the front yard of each home. The trees shall be from the City of Anna's "Large Tree" list, if any, or as otherwise required by the Reviewer. Each homeowner shall be responsible for maintenance and preservation of trees located on their property and shall promptly replace dead trees within ninety (90) days of loss occurrence.

**1.1.3 Shrubbery and Planting Beds:** Each Dwelling shall have a minimum of ten (10) one (1) gallon shrubs planted in a mulched planting bed; the planting bed shall have edging materials to separate the sod and bed mulch areas. The homeowner shall be responsible for the maintenance a preservation of the shrubs and planting bed, and shall promptly replace dead plants within ninety (90) days of loss occurrence.

**SECTION 1.2 Fences:**

**1.2.1 Major Thoroughfares:** Fence and wall construction along Westfield Drive (Lots 1 and 65, Block C only) shall comply with the materials and details indicated in Exhibit Attachment 1.2.1.1

**1.2.2 Standard Side and Rear Yard Fences:** Fence and wall construction shall comply with the materials and details indicated in Exhibit Attachment 1.2.2.1.

**SECTION 1.3 Mail Boxes:**

**1.3.1 Standard Mail Boxes:** Mail Box construction shall comply with the materials and details indicated in Exhibit Attachment 1.3.1.1. Each pair of lots shall have a double mailbox (single if uneven lot count), constructed of brick, with a rounded top. The first of a pair of lots to have a home constructed will dictate the brick used in the construction of the mailbox. The double mailbox shall straddle the property line between the two lots.

**EXHIBIT D****DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS****WESTFIELD****DESIGN GUIDELINES****Part Two: Dwelling Units****SECTION 2.1 Roofs**

**2.1.1 Roof Pitch:** All Roof Pitches shall have a minimum of 6 -in-12 slopes.

**2.1.2 Roofing Materials:** Roofing materials shall be asphalt shingles with a 20-year rated shingle having a minimum weight of 220 pounds per square (100 square feet) and have a weathered brown or gray color. Other roofing materials shall not be used without written approval from the Architectural Control Committee.

**2.1.3 Dormers & Above Roof Chimneys:** Dormers and Chimney Chases, above roof structure and roofing materials, may be finished with an approved exterior grade siding material. All Fireplace flues shall be enclosed and finished; exposed pre-fabricated metal flue piping is prohibited.

**SECTION 2.2 Exterior Walls**

**2.2.1 Exterior Wall Materials:** The minimum exterior wall surface, excluding doors and windows, shall be a total of 60% masonry, as defined in Ordinance No. 2002-37 of the City of Anna, or any amended ordinance of the City of Anna. There shall be 50% brick, stone, and pre-cast stone on the front elevation of all dwelling units. The sides of two-story dwellings are to be at least 50% brick, stone, or pre-cast stone. Any residential structure built on a corner lot shall be required to contain a minimum coverage of 100% brick, stone, and pre-cast stone on the side of the residential unit facing any public street.

**2.2.1.4 Chimneys:** Chimney wall structures that are a direct extension of an exterior wall shall match the requirement of said wall.

## EXHIBIT D

## DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS

WESTFIELD

## DESIGN GUIDELINES

## SECTION 2.3 Elevation and Brick Usage

**2.3.1 Same Elevation:** The repeat of the same elevation design shall be governed by the following provisions

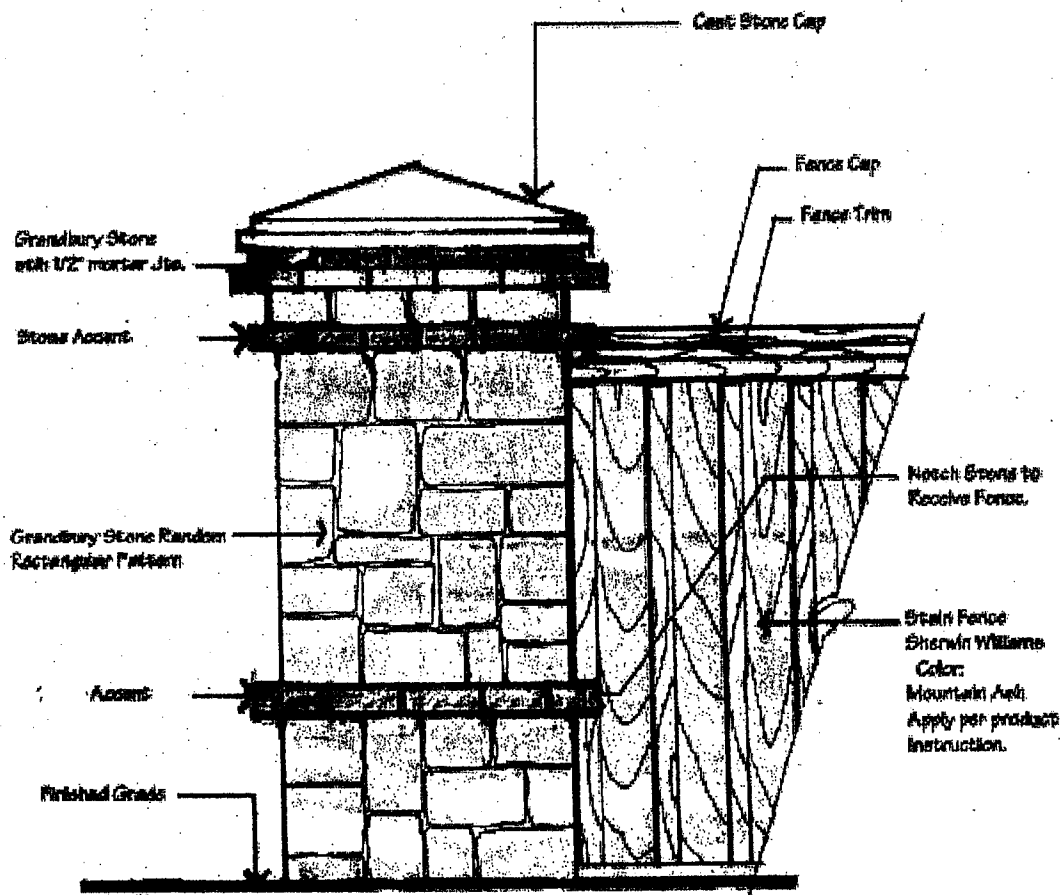
**2.3.1.1 Same Side of Street:** When dwelling units, using the same elevation, are constructed on the same side of the street they shall be separated by a minimum of one (1) lot. The street right-of-way serves as a lot equivalent.

**2.3.1.2 Opposite Side of Street:** When dwelling units, using the same elevation, are constructed on opposite sides of the street they shall not be constructed directly across from each other.

**2.2.2 Repeat Brick Usage:** All Dwelling submittals shall calculate the percentage coverage for each material as follows:

**2.2.2.1 Same Side of Street:** No combination of brick color, mortar color, and sand color shall be repeated for adjacent dwellings. Street and alley intersections are acceptable separation elements.

**2.2.2.2 Opposite Side of Street:** There are no restrictions for the use of brick color, mortar color, and sand color for dwelling units on opposing sides of the street.



## Column with Fence

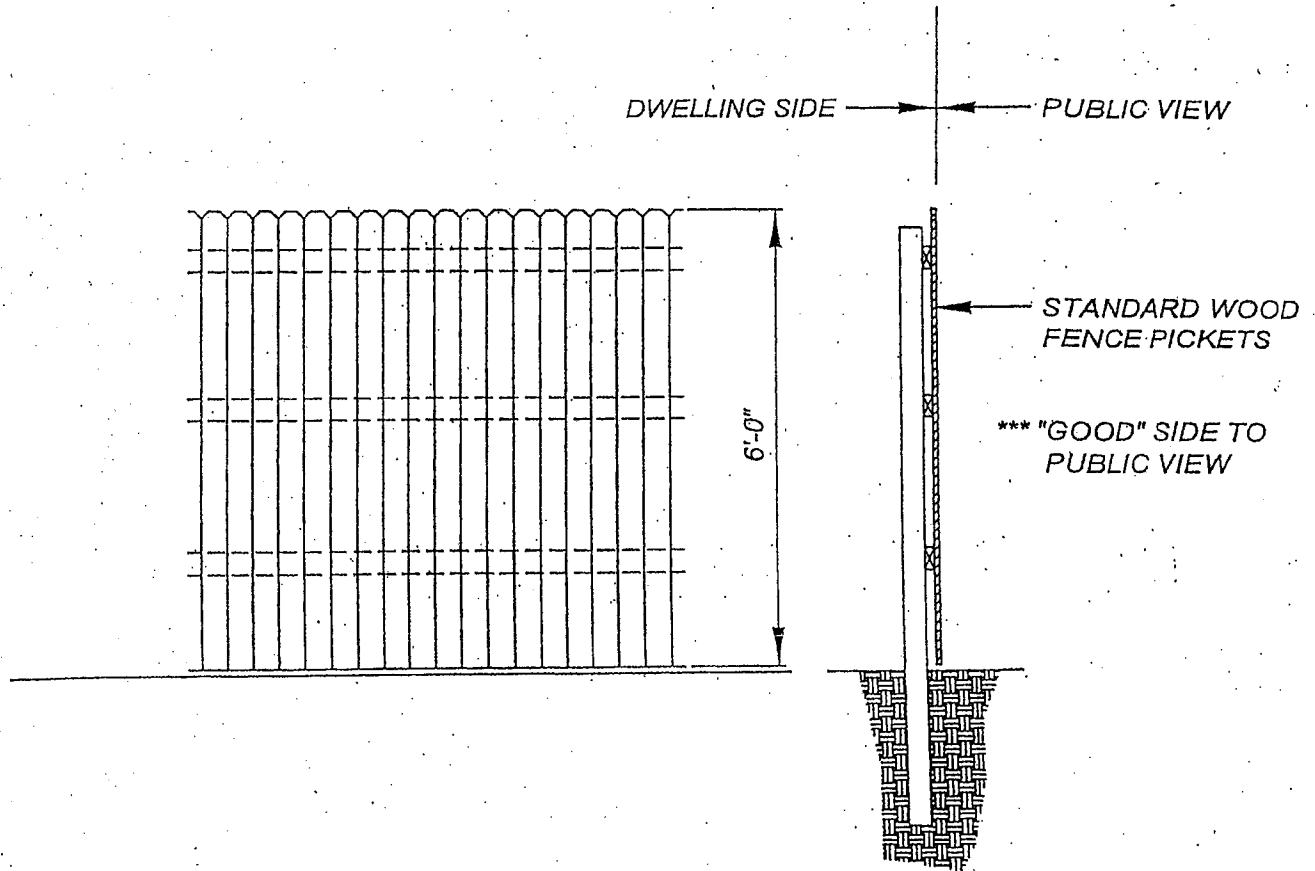
### Woodhaven Homes

May 21, 2004

Stoltz + Lohman Group  
Landscape Architecture / Planning

2802 Bucklehorn Court  
Garland, Texas 75044

tel: 972-875-0086  
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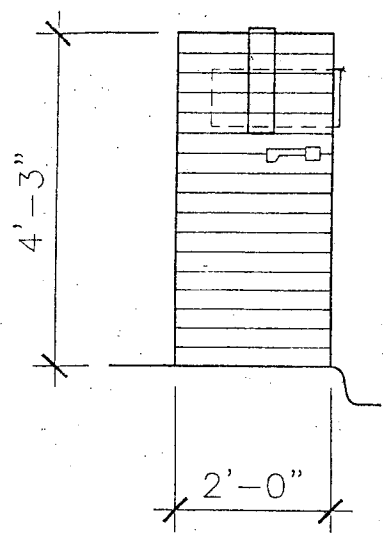


### ATTACHMENT: 1.2.2.1

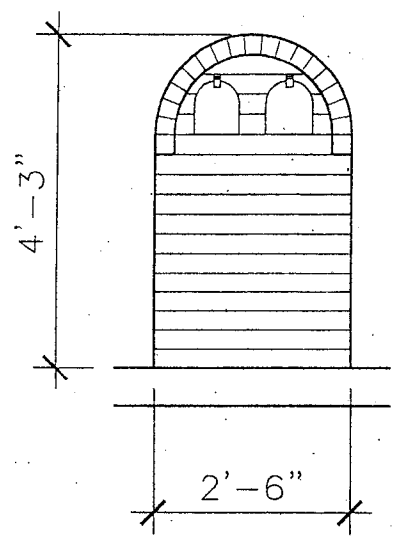
### STANDARD LOT SIDE & REAR FENCE DETAILS

DOUBLE MAILBOX  
DETAIL

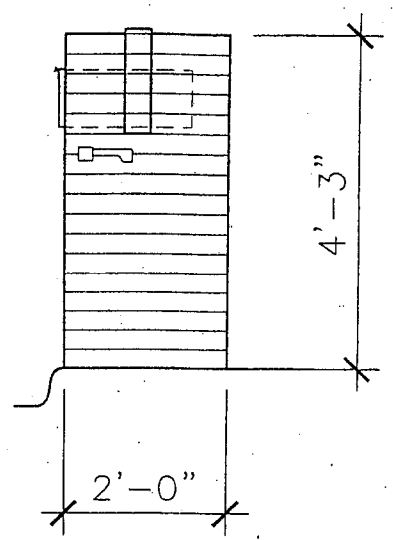
05821 03049



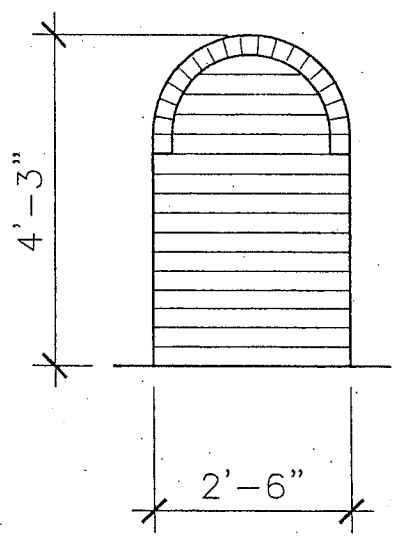
LEFT



DOUBLE MAILBOX  
FRONT



RIGHT



DOUBLE MAILBOX  
REAR

05821 03050

ANY PROVISION HEREIN WHICH RESTRICTS THE SALE, RENTAL, OR USE OF THE  
DESCRIBED REAL PROPERTY BECAUSE OF COLOR OR RACE IS INVALID AND  
UNENFORCEABLE UNDER FEDERAL LAW  
(THE STATE OF TEXAS) (COUNTY OF COLLIN)  
I hereby certify that this instrument was FILED in the File Number Sequence on the date  
and the time stamped hereon by me; and was duly RECORDED, in the Official Public  
Records of Real Property of Collin County, Texas on

DEC 22 2004

Brenda Taylor



Filed for Record in:  
Collin County, McKinney TX  
Honorable Brenda Taylor  
Collin County Clerk

On Dec 22 2004  
At 1:50pm

Doc/Num : 2004- 0182345

Recording/Type:FD 174.00  
Receipt #: 50100